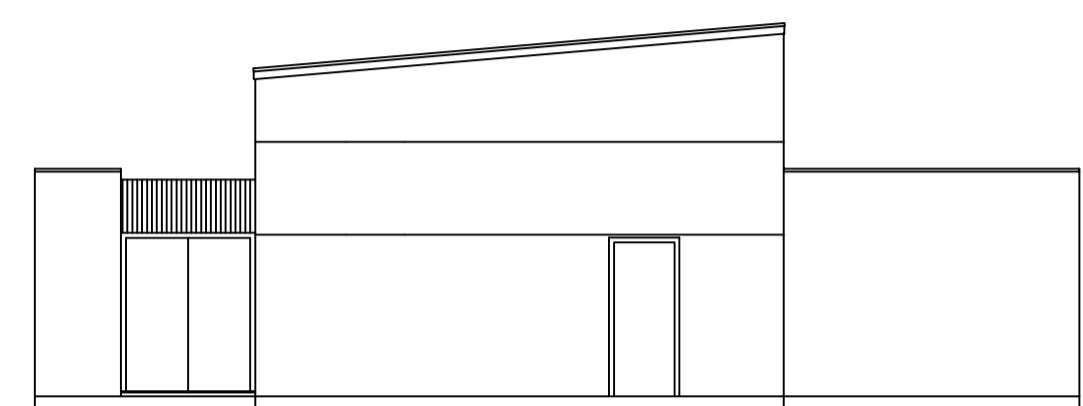
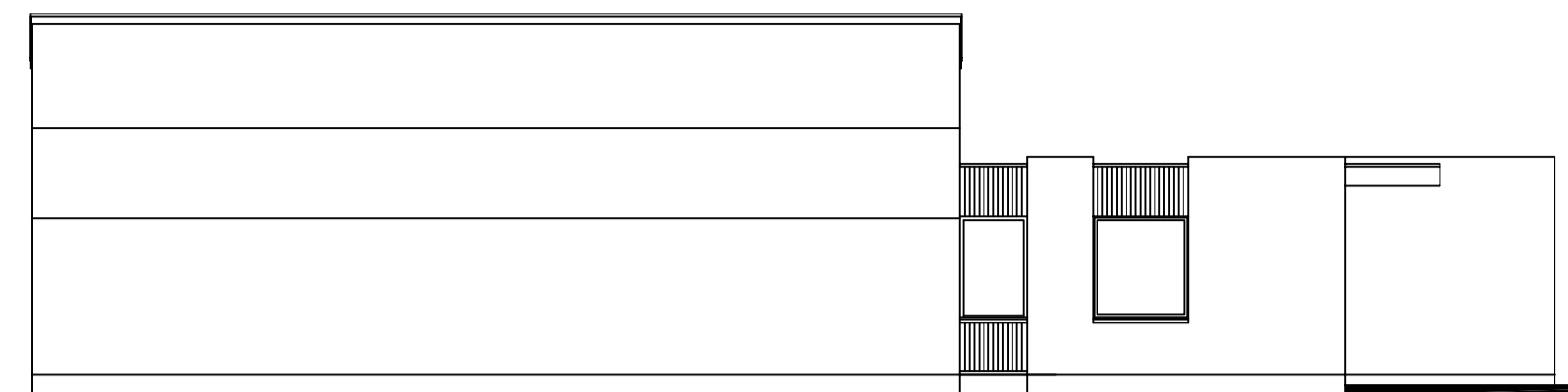


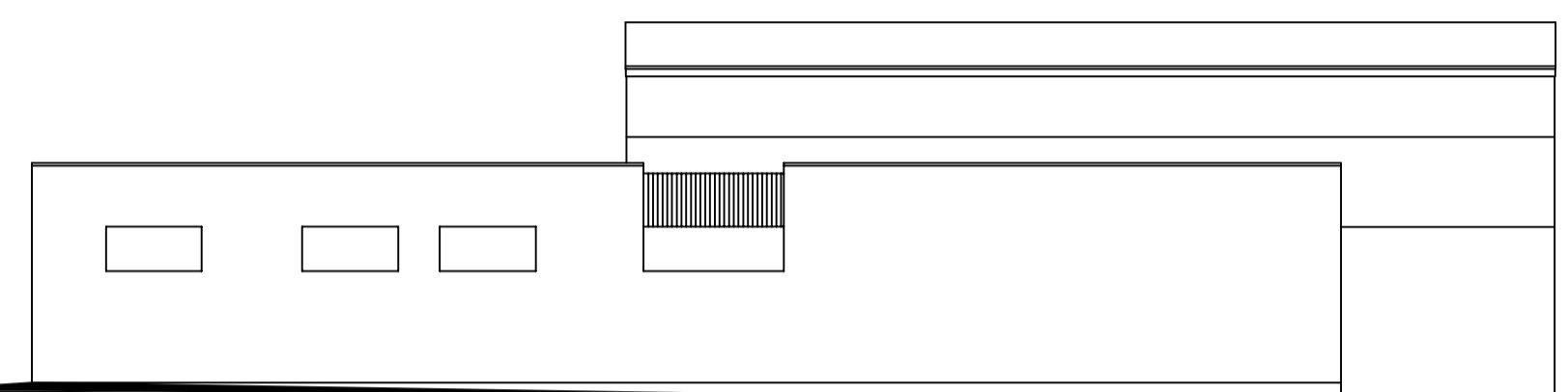
FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

GENERAL NOTES:
 Electrical installation appears to be original with a few more recent minor alterations. Full inspection and testing of all internal lighting and power circuits not subject of this survey. The opinion of an expert certified electrical engineer with the knowledge equipment and experience to properly advise must be sought. The concern is that due to the prolonged problems with the roof leaking, and general damp condition many parts of the building may be the cause of possible unseen corrosion of electrical terminals and damage to the wiring circuits and appliances may have occurred.

Electric heating throughout with fan heaters, storage heaters, and radiant bar fires to the toilet areas.

Certain elements of construction within the building may contain asbestos therefore a full Type 2 asbestos survey MUST be carried out by a competent surveying company accredited by UKAS and is MDHS 100 compliant. Once this has been done the report findings are to be kept in an Asbestos Risk Assessment File kept on the premises with plans identifying the position of any asbestos containing material this information is to be renewed/updated whenever work is carried out on the premises.

Regular checks to be made on any ACM's found & their condition recorded. It is vital that any one working on the premises knows of the location of any ACM's. This includes Contractors and the Emergency Services.

Fire exit door with no external landing ironmongery requires urgent attention door requires easing for better fit

All external walls appear to be 11" thick brickwork consisting of 2No skins of 4½" brickwork with a 2" cavity. Where these walls transition to internal walls the construction changes to 9" solid wall
 Wall finish painted brickwork
 Condensation on walls suggests poor ventilation & inadequate heating supplied by 4No. electric fan heaters at mid height & angled downwards

Galzing to the hall is provided by an array of different sized galvanised steel framed single glazed windows at mid height of the hall and in varying states of repair glass having been replaced by polycarbonate in some of the larger frames. The majority of the windows are fixed lights, most of the remaining that were designed to open no longer do.

Hardwood strip flooring appears to be in a reasonable condition however, a proper inspection of the floor void below possibly by camera might be a good idea. A past repair in the centre of the floor requires attention. (- possible trip hazzard).

Pair of doors in poor repair (nailed shut) Evidence of water ingress above door also roof leaks along adjacent external wall.

Existing close boarded fence to boundary continuing to garages at back of houses fronting St. Johns Close.

Q.M. STORE

Pair of doors in poor repair lipping to leading edge of fixed leaf loose door handles require replacement.

MAIN HALL

Roof appears to be in generally sound condition consisting of 2 layer asbestos based bitumenous roofing felt with chippings finish over 3" channel reinforced interlocking wood wool slabs. These span between the walls and 3No. 10x5¼"x25lb U.B's fixed on padstones at 5'

KITCHEN

Internal RWP cover removed

Existing 150x150mm trapped gully in brick well receiving Kitchen & waste water from wash basin in Female Wc.

Kitchen sink drainage leak in the past possible water beneath vinyl floor finish poor levels of hygiene acheivable. Long term damp damage to plaster finishes due to roof leaks.

Single glazed window in poor state of repair Hot water supply by "on-demand" wall mounted electric boiler - efficiency and age unknown. Long term problems with inner RWP adjacent to serving hatch this single pipe takes all of the drainage off the Main Hall roof with a branch to an outlet taking stormwater off the flat roof as well.

Internal SVP recessed into wall with cover panel fixed flush with internal leaf of brickwork

Female WC constantly wet floor & walls due to partial collapse of ceiling, again long term damage to the roof structure decking & supporting structure requires instant remedial work for short term continued use of the facility. Plasterwork damaged and sanitaryware in deteriorating condition

Male toilet facility comprising: urinal trough with auto flush cistern over draining to open glazed clay floor trough to drain (broken/missing strainer) Wc with old type flushing cistern. Chrome - pitted & corroding

2No wash basins with crazed glazing these drain to the open floor trough. Walls plastered throughout with tiled splashback to wash basins. Plaster to outer wall suffering from long term damp from leak in roof above. Partial collapse or removal of ceiling plasterboard due to long term roof leak & constant wetting of deck & timbers.

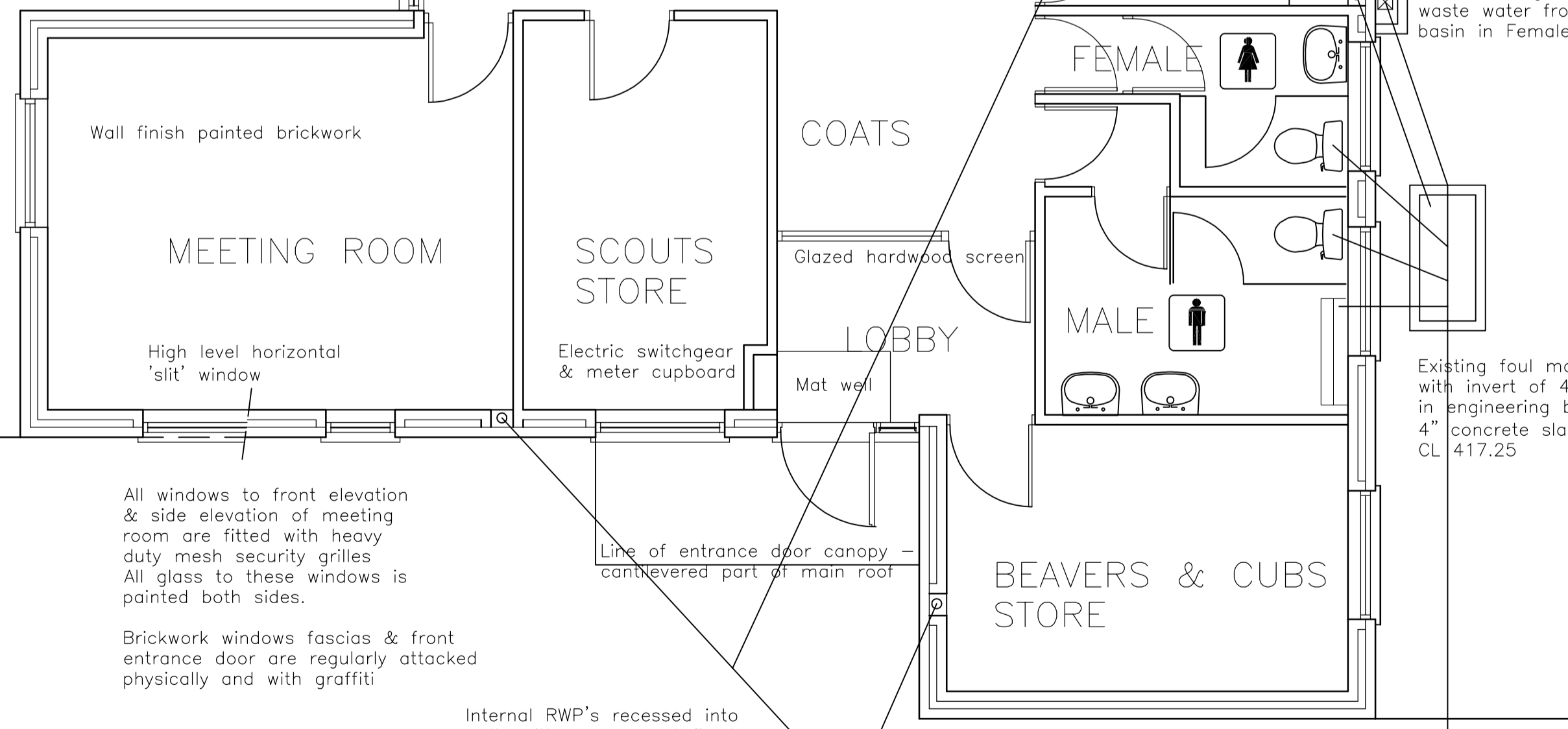
Existing close boarded fence to boundary with 3 strands of barbed wire bracketed to overhang inboard of site

Existing 4" glazed clayware foulwater drains. Routes shown are approximate. Positions and levels to be checked on site prior to any alteration work. Connection to both foul & stormwater in roadway of St.Johns Close

No external survey of the Main Hall roof has been carried out. Internally the roof appears to be in generally sound condition and consists of: 2 layer asbestos based bitumenous roofing felt with chippings finish on 3" thick channel reinforced interlocking wood wool slabs. These span between the walls and 3No. 10x5¼"x25lb U.B's fixed on padstones built into the walls below providing a 5' roof pitch

FALLS →
 Failing lead flashings

Lower area of failing flat roof with numerous patch repairs lifting felt joints and failing flashings



EXISTING PLAN

EXISTING ROOF PLAN

Itemref	Quantity	Title/Name, designation, material, dimension etc	Article No./Reference
Designed by	Checked by	Approved by - date	Filename
Existing Building	DW	GSL - 02/07/07	1-KSG_PA-07
1ST Knowle Scout HQ			EXISTING BUILDING
1KSG / PA-07 / 01			Edition Third
			Sheet 1/1